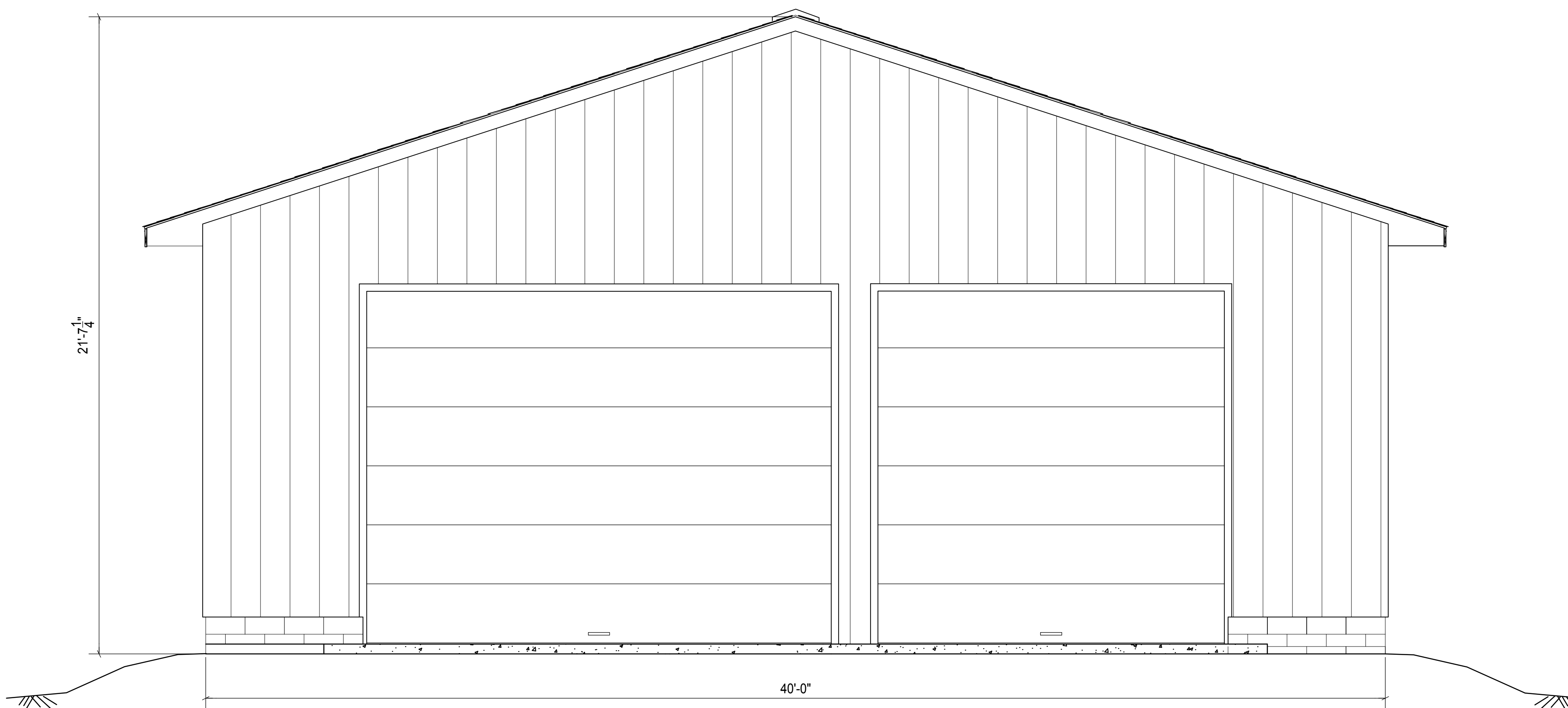


WEST ELEVATION
 $\frac{3}{8}'' = 1'-0''$



SOUTH ELEVATION
 $\frac{3}{8}'' = 1'-0''$

GENERAL INFORMATION 1

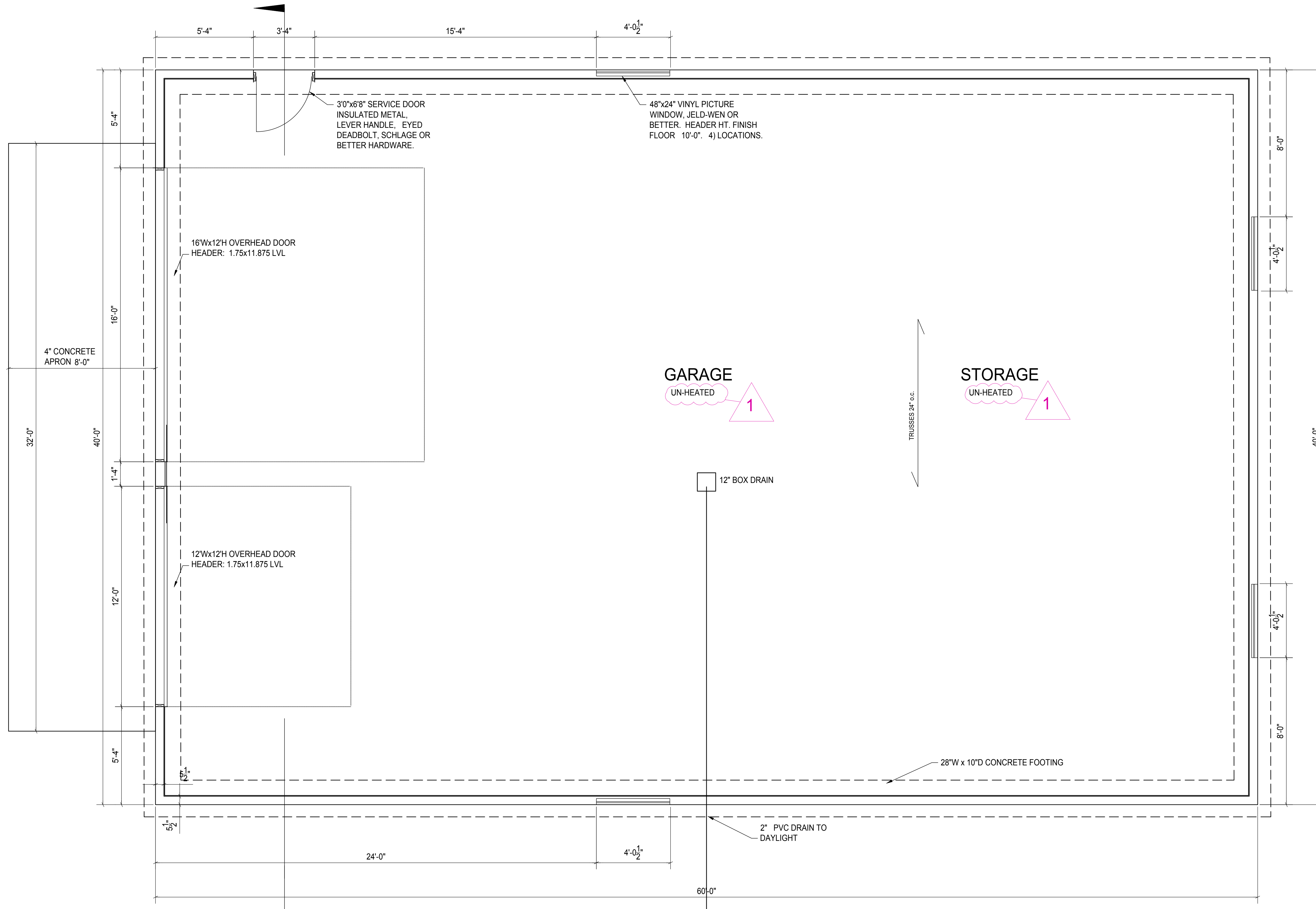
TAX ID: 17-011-007-018-00
 ZONE: R - Residential
 APPLICABLE CODES: 2021 Editions of Michigan Building Code, Michigan Mechanical Code, Michigan Plumbing Code, and Michigan Energy Code. 2023 Edition of Michigan Electrical Code. 2017 Edition of the Michigan Accessibility Code.
 HEATING SOURCE: Un-heated building. 1
 CONSTRUCTION TYPE: V B
 USE GROUP: S-2, Private Storage
 FIRE SUPPRESSION: N/A
 HEIGHT: Actual 35 ft, Allowable 55 ft
 STORY: Actual 1, Allowable 3
 AREA: Actual = 2400 sft, Allowable = 13,500 sft
 OCCUPANCY: 1/200 x 2400 sft = 12 occ
 NUMBER OF EXITS: 1 per Table 1006.2.1, < 31 max Occupants, 1 exit provided.
 TRAVEL DISTANCE: 100 ft max per Table 1006.2.1
 LOADS: Roof - Dead = 25 psf, Live = 10 psf, Snow: Ground = 87 psf, Slope = 56.8 psf
 SOIL BEARING CAPACITY: Allowable = 1500 psf; Design = 1000 psf.
 SOIL CLASSIFICATION: 139A, Rudyard-Urban Land Complex, Silty Clay Loam 0-9", Clay 9"-80".

TABLE OF CONTENTS

- A - 1 ELEVATIONS
- B - 1 FLOOR PLAN
- C - 1 END/SHEAR SOUTH WALL FRAMING
- C - 2 END/SHEAR NORTH WALL FRAMING
- C - 3 GARAGE SECTION VIEW
- S - 1 SITE PLAN

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	Sheet #:	A-1	Project #:	251201
	Date:	February 20, 2026	Scale:	3/8" = 1'-0"
Sheet Content: Elevations				
G. D. Nitz Associates, Inc.				
Engineering! Commercial Building Design!				
202 S. Union St, Unit 202, Traverse City, MI 49684				
Ph: 906-643-7060				
email: GDNitz@GDNitzAssociates.com				
Project Address:	11181 W 2nd St, Rudyard, MI 49780			
Client:	Rudyard Area Schools			
Project:	40x60 Storage Building			



GARAGE
UN-HEATED 1

STORAGE
UN-HEATED 1

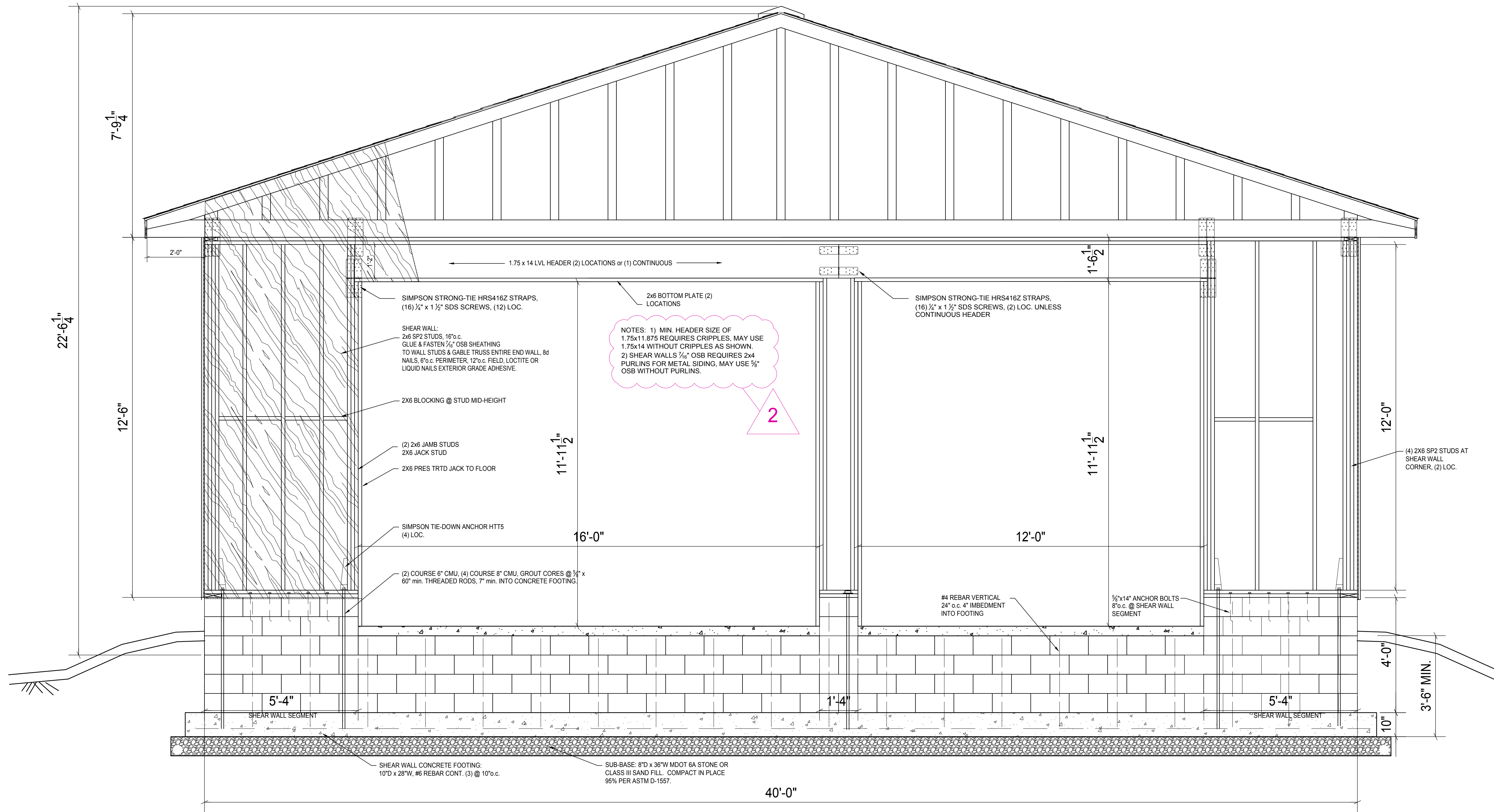
FLOOR PLAN
3/8" = 1'-0"

A
C-3

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Sheet #:	B-1	Project #:	251201
Date:	February 20, 2026	Scale:	3/8" = 1'-0"
Sheet Content:	Floor Plan		
Project Address:	11181 W 2nd St, Rudyard, MI 49780		
Client:	Rudyard Area Schools		
Project:	40x60 Storage Building		

G. D. Nitz Associates, Inc.
 Engineering! Commercial Building Design!
 202 S. Union St, Unit 202, Traverse City, MI 49684
 Ph: 906-643-7060
 email: GDNitz@GDNitzAssociates.com



FOUNDATION SPECIFICATIONS

General - Work shall be performed in accordance with generally accepted standards and as a minimum shall comply with ACI-318 and the Michigan Building Code, 2021 edition.

Material -

- Concrete shall be Type 1 Portland cement in accordance with ASTM C150. 4" max slump. 28 day strength (F_c):
Footings - 3500 psi min.
Slabs on Grade - 4000 psi min.
- Reinforcing steel shall be in accordance with ASTM A615, Grade 60 min. Welded Wire Fabric (WWF) shall be W6, 6"x6" in slabs. Alternate Rebar: Gatorbar by Neuvokas Corp. neuvokascorp.com 906-934-2661. No. 3 Gatorbar may be substituted for No. 4 Steel rebar.
- Insulation when indicated on plans shall be 2" min thick extruded polystyrene (XPS) or mineral wool board rated for under slabs.
- Vapor retarder shall be 6 mil polyethylene sheeting placed (over insulation board) under slabs.
- Anchor Bolts shall be ASTM A36, 1"x 14" L Hook, or 3/4"x8" vibration resistant stud anchors per the location shown on the plans.
- Building column bearing plates shall be 3/8" x6"x8" min, sized per the plans.

Installation -

- Prepare site by removing and stockpiling topsoil. Remove over burden to proposed grade and excavate footings without over excavating. Compact in place disturbed soils 95% per ASTM D-1557 using a vibratory compactor. If fill is required, compact in place in 12" maximum lifts. Fill shall be MDOT Class II material.
- Concrete shall not be cast upon frozen soils, min. ambient temperature 45°F. Prevent concrete from freezing for 28 days by insulating with insulation board, hay, or straw, and tarps, or by enclosing and heating as appropriate.
- Interior Slabs shall be machine finish with curing compounds optional. Exterior slabs shall be broom finish. Keep slabs moist by wetting daily or covering with polyethylene or tarps after surface has set, for 7 days.
- Control joints and expansion joints shall be placed per code, industry standard, or as shown on foundation plan. Do not pour more than able to finish in one hour. Do not checkerboard slab pours, but rather continue in one direction only. Welded wire fabric shall bridge all control joints.
- Floor sealant maybe applied anytime after 7 days of curing but must be clean and free of deleterious material.

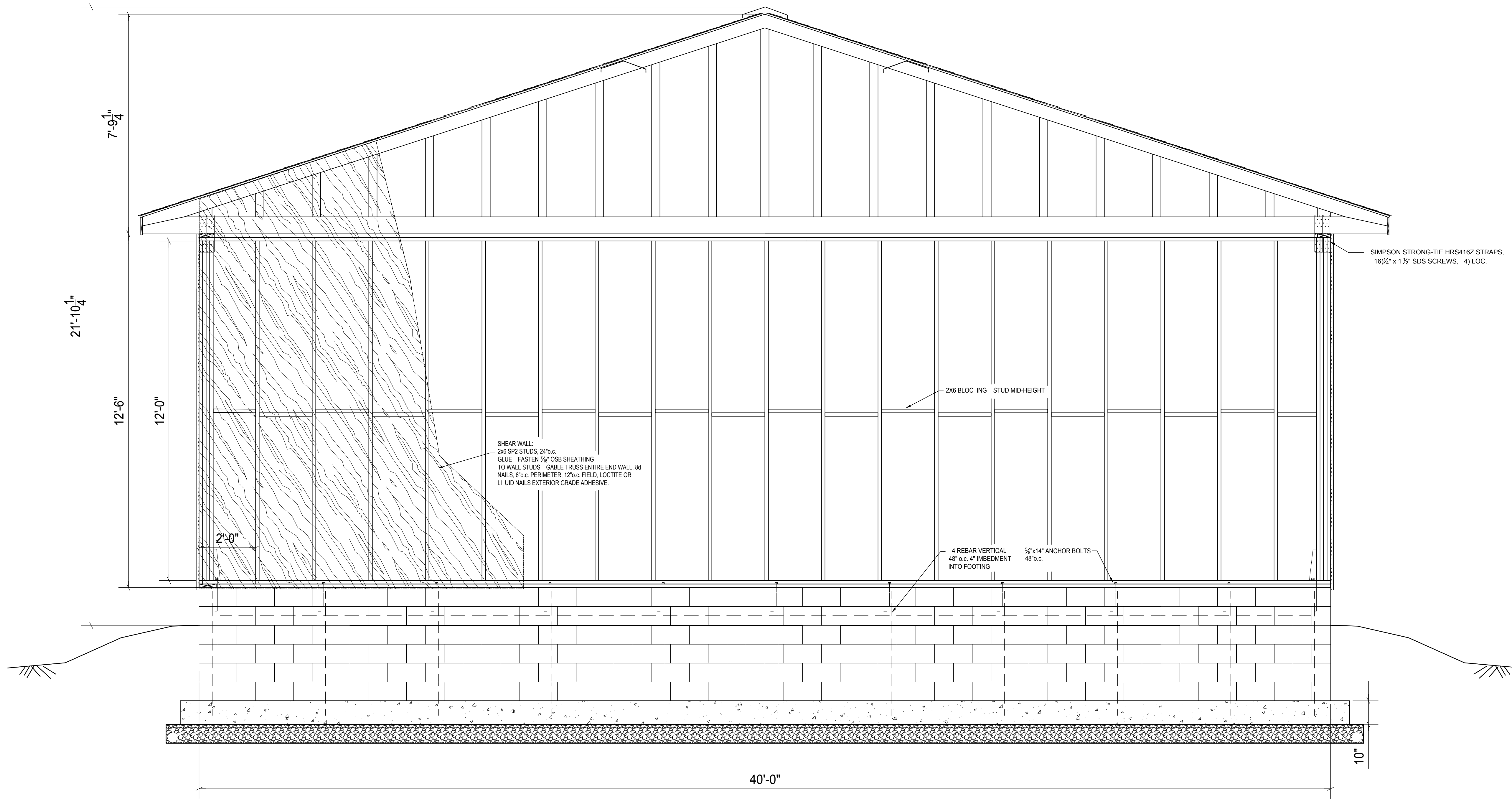
END/SHEAR WALL FRAMING
 1/2" = 1'-0" (SOUTH ELEVATION)

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Sheet #	C-1	Project #	251201
Date	February 18, 2026	Scale	1/2" = 1'-0"
Sheet Content	End/Shear South Wall Framing		
Client	Rudyard Area Schools		
Project	40x60 Storage Building		
Project Address	11181 W 2nd St, Rudyard, MI 49780		
Client	Rudyard Area Schools		
Project	40x60 Storage Building		

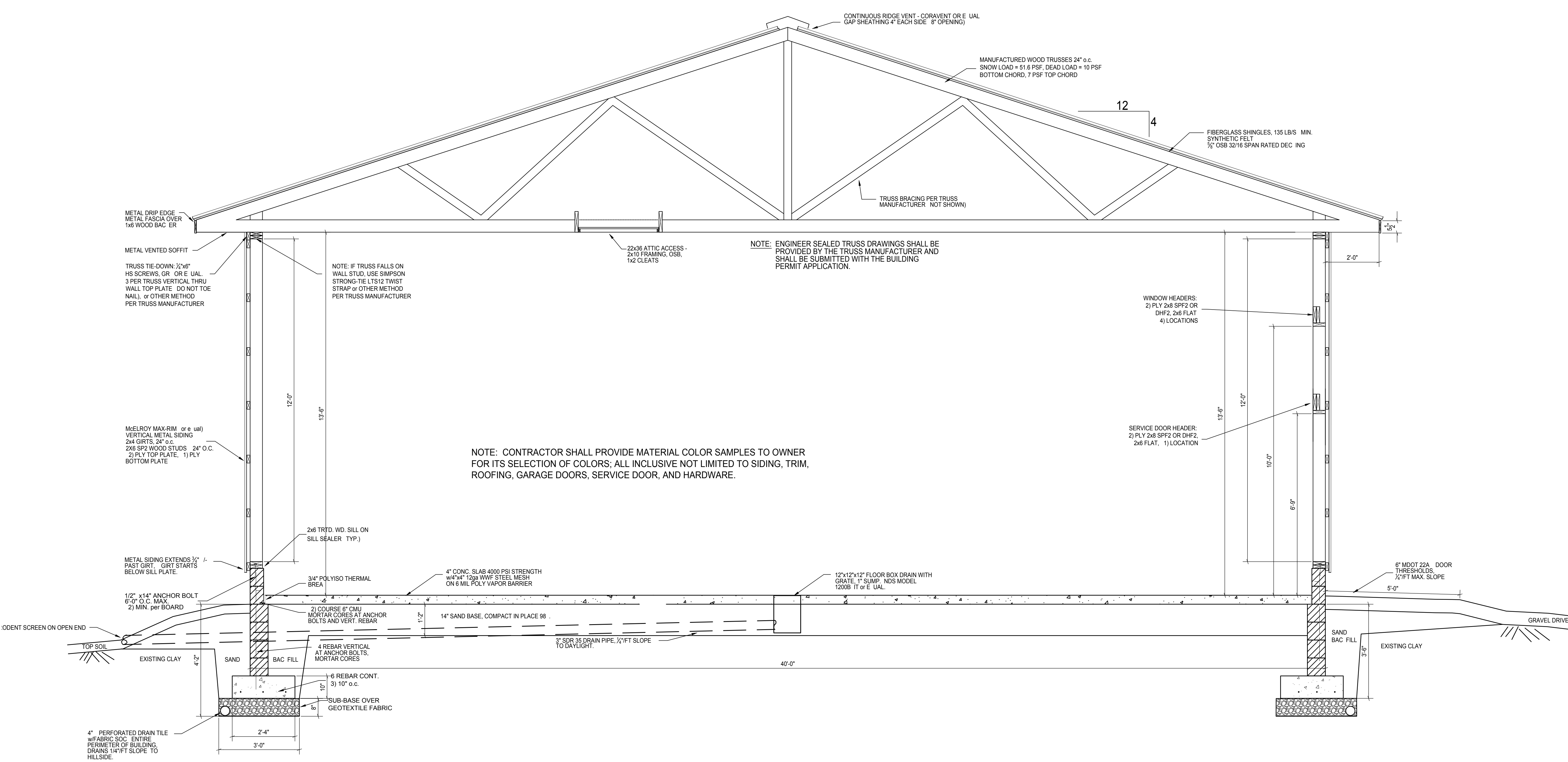
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 Engineering! Commercial Building Design!
 202 S. Union St, Unit 202, Traverse City, MI 49684
 Ph: 906-643-7060
 email: GDNitz@GDNitzAssociates.com



END/SHEAR WALL FRAMING
 1/2" = 1'-0" (NORTH ELEVATION)

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Sheet #:	C-2	Project #:	251201
Date:	February 20, 2026	Scale:	1/2" = 1'-0"
Sheet Content:	End/Shear North Wall Framing		
G. D. Nitz Associates, Inc. Engineering! Commercial Building Design! 202 S. Union St, Unit 202, Traverse City, MI 49684 Ph: 906-643-7060 email: GDNitz@GDNitzAssociates.com			
Project Address:	11181 W 2nd St, Rudyard, MI 49780		
Client:	Rudyard Area Schools		
Project:	40x60 Storage Building		



A
B-1

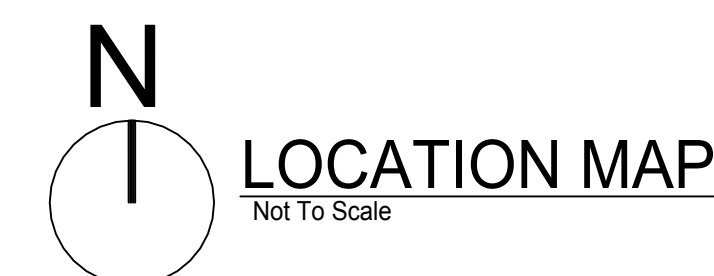
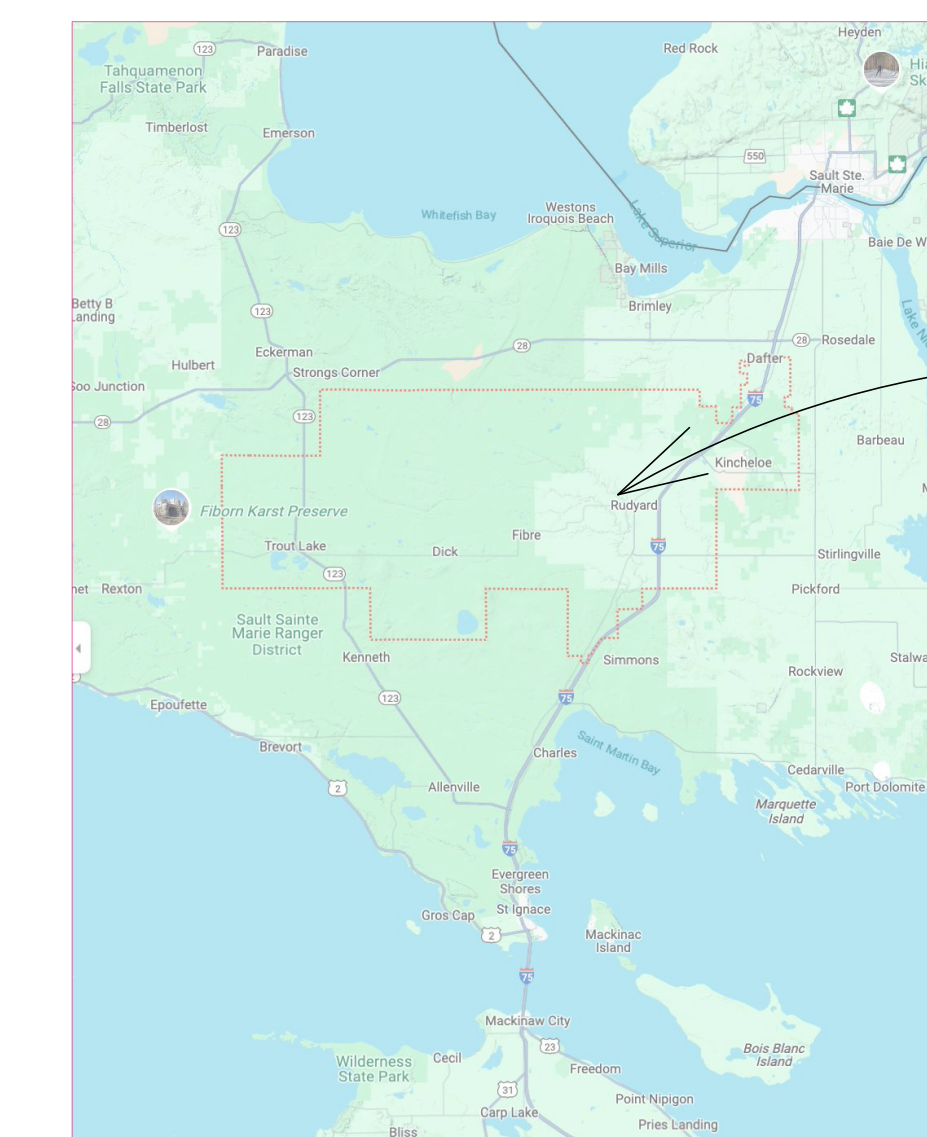
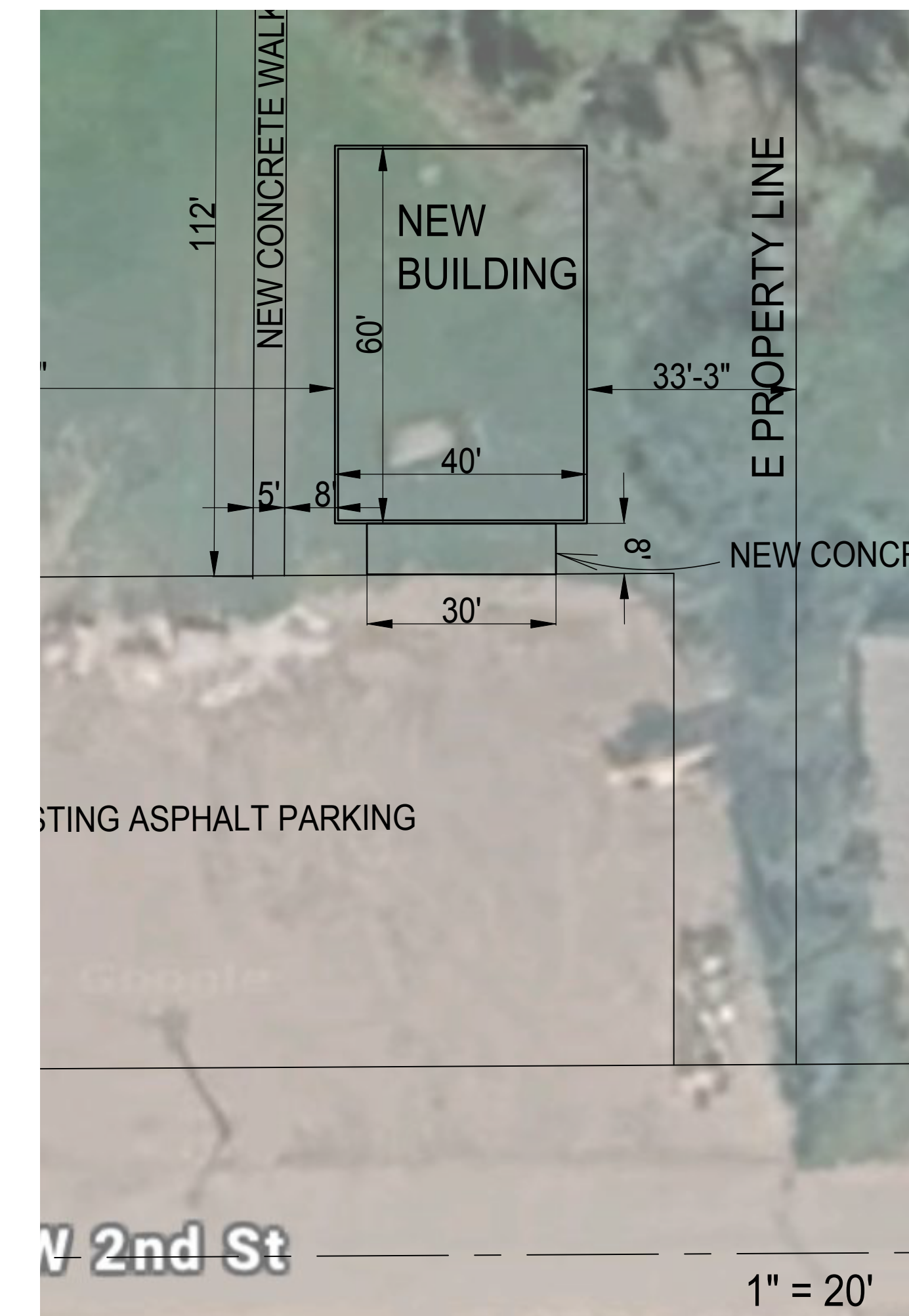
GARAGE SECTION VIEW

1/2" = 1'-0"

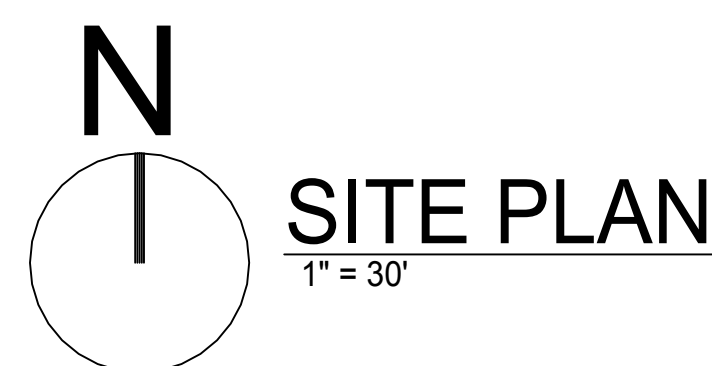
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Sheet #:	C-3	Project #:	251201
Date:	February 20, 2026	Scale:	1/2" = 1'-0"
Sheet Content:	Garage Section View		
G. D. Nitz Associates, Inc. Engineering! Commercial Building Design! 202 S. Union St, Unit 202, Traverse City, MI 49684 Ph: 906-643-7060 email: GDNitz@GDNitzAssociates.com			
Project Address:	11181 W 2nd St, Rudyard, MI 49780		
Client:	Rudyard Area Schools		
Project:	40x60 Storage Building		



- SITE NOTES**
1. CALL MISS DIG 800-482-7171, 72 HOURS PRIOR TO COMMENCING WORK.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AS APPLICABLE, AND SHALL BE ACCEPTABLE BY THE AUTHORITY HAVING JURISDICTION. APPLY FOR ALL PERMITS FROM ALL AGENCIES HAVING JURISDICTION.
 3. PROVIDE BARRICADES AROUND EXCAVATIONS TO PREVENT PUBLIC ACCESS.
 4. CUT AND STOCKPILE ALL TOPSOIL FOR RE-USE. CUT GRADE AS NECESSARY TO ALLOW: 4" TOPSOIL AT GRASS LOCATIONS, & 8" CLASS II MATERIAL (SAND) FOR WALKS & PAVEMENTS.
 5. EXCESS CUT MATERIAL SHALL BE HAULED OFF SITE. MAY REUSE CUT MATERIAL TO BACKFILL FOUNDATIONS AND ROAD EMBANKMENTS. SCREED BOULDERS FOR REUSE WHERE INDICATED ON PLANS.
 6. PROVIDE ROAD CLEANUP ON A DAILY BASIS ON ROADS AS APPLICABLE OR AS DEEMED NECESSARY BY TOWNSHIP SUPERVISOR OR CHIPPEWA COUNTY ROAD COMMISSION.
 7. TOPSOIL, SEED, & MULCH WHERE INDICATED. SPREAD HAY (WILDFLOWER MIX) WHERE INDICATED ON ROAD BANKS FOR SOIL STABILIZATION.
 8. IF BEDROCK ENCOUNTERED AT SANITARY SEWER AND WATER LOCATIONS THAT LIMITS DEPTH AND COVERAGE, CONTACT ENGINEER AND PLACE 2" x 48" XPS BOARD INSULATION OVER UTILITY.
 9. INSTALL SILT FENCE - GEOTEXTILE FABRIC ON STAKES OR HAY BALES STAKED IN PLACE WHERE INDICATED AND AS DIRECTED BY LMAS HEALTH DEPT.
 10. CONTRACTOR SHALL PROVIDE COMPACTION TESTING AND SUBMIT RESULTS TO ENGINEER FOR REVIEW. ENGINEER RESERVES RIGHT TO REQUIRE ADDITIONAL TESTING WHERE TESTS HAVE FAILED UNTIL ACCEPTABLE RESULTS ARE OBTAINED. COMPACTION SHALL BE IN ACCORDANCE WITH ASTM D-1557.
 11. EXCAVATE FOOTINGS TO UNDISTURBED SOIL. OVER-EXCAVATION WILL REQUIRE ADDITIONAL CONCRETE FOOTING DEPTH AT EXCAVATOR'S EXPENSE.
 12. INSIDE BUILDING FOUNDATION SHALL BE FILLED WITH MDOT CLASS II (SAND) WHERE NEEDED TO BRING GRADE TO ELEVATION READY FOR 4" CONCRETE FLOOR. PLACE FILL IN 6" MAX LIFTS AND COMPACT IN PLACE 95% PER ASTM-D1557. COORDINATE WORK WITH PLUMBER TO ENSURE PROPER PLACEMENT AND COMPACTION.
 13. INSTALL 4" PERFORATED HDPE FLEXIBLE CORRUGATED PIPE WITH FABRIC SOCK AROUND PERIMETER AND ROUTE TO DAYLIGHT.



USDA SOIL SURVEY:
139A - Rudyard-Urban land complex, 0 to 3 percent slopes
 Typical Profile
 Ap - 0 to 6 inches: **silty clay loam**
 E/E - 6 to 9 inches: **silty clay loam**
 Bt - 9 to 17 inches: **clay**
 C - 17 to 80 inches: **clay**

Properties and Qualities
 Slope: 0 - 3 percent
 Depth to restrictive feature: > 80"
 Drainage class: Somewhat poorly drained
 Runoff class: Very high
 Capacity of the most limiting layer to transmit water (Ksat):
 very low to moderately low (0.00 - 0.06 in/hr)
 Depth to water table: About 6"
 Frequency of flooding: none
 Frequency of ponding: none
 Calcium Carbonate, maximum content: 30%
 Available water supply, 0 - 60": moderate (about 6.5")

TAX ID NO: 17-011-007-018-00

PROPERTY DESCRIPTION:
 Section 7 T44N R2W, the NW 1/4 of the NE 1/4 Except that part N of the PINE RIVER of the W 225 FT, also Except BEG 225 FT E of the NW Corner, thence S 333 FT, thence E 250 FT, thence N 50 FT, thence E 225 FT, thence NW 283 FT to Beginning; also Except Beginning 765 FT E of the NW Corner, thence S 169 FT, thence E 100 FT, thence S 131 FT, thence E 100 FT, thence N 147 FT, thence E 145.5 FT, thence N 7 FT, thence E 150 FT, thence NW 146 FT to the Beginning.

Code of Federal Regulations, eCFR.gov
 Soil Classification at Bottom of Footing: ASTM D 2487 CH, high plasticity clay.
 Allowable Soil Bearing Capacity = 1500 psf
 Design Soil Bearing Capacity = 1000 psf

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	Sheet #:	S-1	Project #:	251201
	Date:	February 20, 2026	Scale:	1" = 30'
Sheet Content: Site Plan				
G. D. Nitz Associates, Inc. Engineering! Commercial Building Design! 202 S. Union St, Unit 202, Traverse City, MI 49684 Ph: 906-643-7060 email: GDNitz@GDNitzAssociates.com				
Project Address:	11181 W 2nd St, Rudyard, MI 49780			
Client:	Rudyard Area Schools			
Project:	40x60 Storage Building			